

## **150.214 Residential Construction / Addition**

### **A) Permitting**

- a. Submit a Zoning Permit Application to Village Clerk (with fees and deposit).
- b. The application materials shall include a Floodplain and Storm water Pollution Prevention Acknowledgement Form.
- c. Submit neat drawings of proposed site work.
- d. Provide drawings of exterior building elevations with finishes and colors.
- e. The Village Engineer reviews the application.
- f. If included in the approved Site Plan, separate clearing, grading, driveway, ditch enclosure, sidewalk, fence and deck/patio approvals are not required.
- g. Separate Right of Way Permit Applications are required for utility service connections.
- h. The applicant is required to obtain a Building Permit from Summit County. Portage County does not issue building permits within the Village.
- i. If the disturbance is greater than 1 acre, a review and approval by the Summit or Portage County Soil and Water Conservation District is required.
- j. If the project will involve flow to an existing or proposed on-site sewage or septic system, the applicant must provide an approval from either the Portage County or Summit County Health Department, as applicable.
- k. Applicant should indicate whether there is reason to believe the work is within a floodplain, wetland or riparian setback.

### **B) Village Fees**

- a. Zoning Permit Application fee required.
- b. Deposits are required to cover direct costs to the Village and provide money for the Village to correct sub-standard or incomplete work (within the R/W). Refer to the *Village Permits and Approvals Fee Schedule* for application and deposit fees.
- c. Deposits may be increased by the Village for complicated or larger projects.
- d. Unused deposits as determined by the Village will be returned upon the Village's approval of the work.

### **C) Village Standards**

- a. The general requirements of Chapter 150 of the Village Code apply to all work covered by this section.
- b. Refer to district regulations (R-1, R-2, CB etc.) for district specific regulations and standards.
- c. The contractor performing excavations within the Village is required to contact OUPS, OGPUP, 811 or individual utilities as required to locate and protect underground facilities. Record drawings are not exact and care should be used when excavating near utilities shown on plans or marked in the field. The Village should be contacted directly for the location of storm sewers.
- d. The contractor performing work within the Village is responsible for worker and public safety. Compliance with 29CFR 1926 Subpart P and OSHA

excavation requirements are the responsibility of the contractor performing the work.

- e. Structure setbacks and size must meet the Mogadore Code.
- f. The structures and associated grading shall not direct run-off to neighboring properties. Supplemental yard drains that were not on the approved site plan may be required based on field conditions.
- g. Ditching and drive pipes may be required to promote drainage for the area (not just the subject property).
- h. Grading between houses shall be at a 1.5% minimum slope to prevent ponding. Localized high points and sumps with yard drains will be required.
- i. Initial grading along basement walls shall be installed 4" higher than the proposed final grade to account for settlement.
- j. Ground cover disturbances less than an acre will require site specific sediment and erosion controls such as silt fence, inlet protection check dams etc.
- k. If the proposed structure encroaches on wetlands, riparian setbacks or floodplains, the Village Engineer will impose additional construction limitations and permitting requirements.
- l. Driveways and sidewalks must meet the Village standards.
- m. Submittals for improvements in zoning districts that employ cohesive layout, design, aesthetic and architectural standards to achieve an inherent look or feel will be subjected to a higher level of architectural and design review to ensure compliance with the definition of the zoning district and maintain the character of the area that current occupants support and expect (e.g. PUD's and Central Business District).
- n. The corners of all lots developed or created shall have all corners pinned by a licensed surveyor.
- o. Comply with Summit County Building Department standards.
- p. Disturbed areas shall be repaired as needed to ensure full germination within 60 calendar days.

#### D) Inspections

- a. Provide the Village a 48 hour (2 business days) notice prior to basement or footing excavation to allow a pre-installation inspection of the proposed layout (setbacks).
- b. Provide the Village a 48 hour (2 business days) notice prior to pouring drives and walks to allow a pre-pour inspection.
- c. Provide the Village a one week notice prior to final grading to allow rough grading (drainage patterns) to be inspected and corrected prior to placement of topsoil.
- d. The Summit County Building Department is responsible for all building construction inspections.

# VILLAGE OF MOGADORE

## ZONING PERMIT

135 S. Cleveland Ave., Mogadore, OH 44260  
Phone: 330-628-4896 Fax 330-628-5850



DATE: \_\_\_\_\_

APPLICANT NAME: \_\_\_\_\_ PHONE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

APPLICANT ADDRESS: \_\_\_\_\_

CONTRACTOR NAME: \_\_\_\_\_ PHONE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

CONTRACTOR ADDRESS: \_\_\_\_\_

LOCATION OF WORK: \_\_\_\_\_

TYPE OF CONSTRUCTION: \_\_\_\_\_

ZONING DISTRICT: \_\_\_\_\_

ANTICIPATED START DATE: \_\_\_\_\_ ANTICIPATED COMPLETION DATE: \_\_\_\_\_

VILLAGE COMMENTS: \_\_\_\_\_

APPROVED: \_\_\_\_\_ PERMIT #: \_\_\_\_\_ DATE: \_\_\_\_\_

FEE: \_\_\_\_\_ DEPOSIT: \_\_\_\_\_ PAID: \_\_\_\_\_

INSPECTED: \_\_\_\_\_ DATE: \_\_\_\_\_

NOTE: VILLAGE INSPECTION FEES AND RESTORATION DEPOSIT MAY BE REQUIRED. INSPECTION FEES AND RESTORATION DEPOSIT ARE BASED ON THE TYPE AND DURATION OF THE WORK BEING PERFORMED.

Application is made for a zoning permit within a Village limits as indicated and in accordance with the following conditions:

1. The applicant agrees to keep this permit on the work site and notify the Village a minimum of 48 hours in advance of any work. The applicant also understands that it is solely responsible to notify OHIO811 a minimum of 48 hours in advance of any excavation. Building permit cards must be displayed on the street side of construction site at all times. The Summit County Building Department will perform all inspections (330-926-2414). No Construction can commence until a building permit is issued by Summit County. Upon building completion, a certificate of occupancy must be issued by the county prior to occupancy of the structure.
2. Applicant will acquire an approved Zoning Permit from the Village prior to applying for a Building Permit from Summit County.
3. If the property is currently or will be served by an on-site septic system, the applicant must provide a copy of the appropriate county health department approval of the existing or proposed system.

APPLICANT SIGNATURE: \_\_\_\_\_

# VILLAGE OF MOGADORE

## RIGHT-OF-WAY PERMIT

135 S. Cleveland Ave., Mogadore, OH 44260  
Phone: 330-628-4896 Fax 330-628-5850



DATE: \_\_\_\_\_

APPLICANT: \_\_\_\_\_ PHONE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

APPLICANT ADDRESS: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ PHONE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

CONTRACTOR ADDRESS: \_\_\_\_\_

TYPE AND LOCATION OF WORK: \_\_\_\_\_

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ANTICIPATED START DATE: \_\_\_\_\_ ANTICIPATED COMPLETION DATE: \_\_\_\_\_

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VILLAGE COMMENTS: \_\_\_\_\_

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APPROVED: \_\_\_\_\_ PERMIT #: \_\_\_\_\_ DATE: \_\_\_\_\_

FEE: \_\_\_\_\_ DEPOSIT: \_\_\_\_\_ PAID: \_\_\_\_\_

INSPECTED: \_\_\_\_\_ DATE: \_\_\_\_\_

NOTE: VILLAGE INSPECTION FEES MAY BE REQUIRED. INSPECTION IS BASED ON THE TYPE AND DURATION OF THE WORK BEING PERFORMED. PLEASE ASK TO SEE IF INSPECTION WILL BE REQUIRED.

NOTE: PAGE 2 MUST BE COMPLETED FOR ALL WORK REQUIRING EXCAVATION.

## RIGHT-OF-WAY PERMIT ROAD OPENING INFORMATION



IF THE PROPOSED RIGHT-OF-WAY WORK REQUIRES EXCAVATION, THE FOLLOWING INFORMATION MUST BE COMPLETED.

EXCAVATION TO BE \_\_\_\_\_ FEET LONG BY \_\_\_\_\_ FEET WIDE BY \_\_\_\_\_ FEET DEEP

EXCAVATION TO BEGIN \_\_\_\_\_ / \_\_\_\_\_ / \_\_\_\_\_ AND WILL TAKE \_\_\_\_\_ DAYS

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Application is made for permission to work within a Village Right of Way as indicated and in accordance with the following conditions:

1. The applicant agrees to keep this permit on the work site and notify the Village a minimum of 48 hours in advance of any work. The applicant also understands that it is solely responsible to notify OHIO811 a minimum of 48 hours in advance of any excavation.
2. The applicant acknowledges that it is solely responsible to return the affected area to its original condition as soon as reasonably possible.
3. That all work shall be done in accordance with Village rules and regulations; shall be first class in every manner and subject to village inspection and to the approval of authorized officer of the Village of Mogadore. All materials and work to conform to Mogadore's standard road details.
4. All excavations will be backfilled and a temporary or the final pavement installed the same day as the original opening, steel plates may be used to protect the excavation if the final pavement is installed the day following the original opening.
5. Applicant must submit a proposed traffic control plan in accordance with the Ohio Manual of Uniform Traffic Control Devices for Streets and Highways. Coordinate daily traffic activities with the Village Fire Department. The work be protected with bracing, barricades and lights and that the applicant hereunder shall save the Village and its agents harmless from any and all damage or injury resulting from the prosecution of the work.
6. Road openings must commence within ten (10) days of the approved permit and the roadway may not be open for more than five (5) days.
7. That the applicant waive any and all damage he may sustain by reason of the work allowed under this permit.
8. Notify the utility owner when ready to make sanitary, gas, water or storm sewer tap and do not cover work until it has been inspected and approved.
9. Contact the Akron Water Department at 330-375-2554 to request a new water service and an inspection (unless a well will be installed).
10. Contact the Summit County Department of Sanitary Sewer Services at 330-926-2414 to obtain a sanitary sewer permit and coordinate the required inspection.
11. The Village must be present to observe storm sewer connections as well as the backfilling, compaction, and pavement replacement operations for all work within the Right of Way.
12. Water and sewer service lines must be ten (10) feet apart.
13. Failure to observe these rules will result in forfeiture of permit and remedy of conditions by Village's forces at owner's expense.
14. A deposit is required per the Village Schedule of Fees. Additional deposits may be required by the Engineer based on the type of work.
15. The applicant understand that this work is being completed within the Village right-of-way, as such, the applicant understands that the Village maintains the right to remove, alter, or otherwise disturb this area for any reason.

APPLICANT SIGNATURE: \_\_\_\_\_

**VILLAGE OF MOGADORE**  
**Floodplain and Stormwater Pollution**  
**Prevention Acknowledgement Form**  
135 S. Cleveland Ave., Mogadore, OH 44260  
Phone: 330-628-4896 Fax 330-628-5850



**FLOODPLAIN**

Is the proposed structure, associated earthwork, non structural fill or grading or storage of equipment/material to occur in an area defined as a "Special Flood Hazard Area"? \_\_\_\_\_  
(Yes / No)

Refer to the Flood Insurance Rate Map. Areas with blue hatch on the flood maps are Special Flood Hazard Areas. If yes, contact the Village for development requirements/limitations and a Special Flood Hazard Area Development Permit Application. Higher quality mapping is available if proposed work is close to a Special Flood Hazard Area.

**STORMWATER POLLUTION**

Will the project disturb one (1) or more acres? \_\_\_\_\_  
(Yes / No)

If one (1) acre or more of land is disturbed as a result of the project, a Stormwater Pollution Prevention Plan (SWPPP) must be prepared. The SWPPP must be submitted to and approved by the Village prior to any excavation or stripping of soil. The cost and responsibility associated with obtaining an approved plan as well as maintaining erosion controls measures to the satisfaction of the Village shall be borne by the developer. If the developer does not install and maintain stormwater pollution control measures to the satisfaction of the Village, the Village reserves the right to halt work until deficiencies are addressed to the satisfaction of Village. All application, review and inspection fees or fines that the Village, County or EPA charges to the development shall be the responsibility of the owner/developer or contractor as appropriate.

(Note: A project, which will disturb several acres, shall not be broken into smaller "phases" to avoid installing storm water pollution prevention techniques. For the purposes of the stormwater pollution requirements, the project shall include the long-term development as well as short-term construction.)

\_\_\_\_\_  
Witness (*Print Name*)

\_\_\_\_\_  
Owner/Developer (*Print*)

\_\_\_\_\_  
Witness (*Signature*)

\_\_\_\_\_  
Authorized Representative (*Print Name*)

\_\_\_\_\_  
Authorized Representative (*Signature*)

\_\_\_\_\_  
Contact Phone Number

\_\_\_\_\_  
Dated

\_\_\_\_\_  
Contact Email

**VILLAGE OF MOGADORE**  
**SPECIAL FLOOD HAZARD AREA DEVELOPMENT PERMIT**  
135 S. Cleveland Ave., Mogadore, OH 44260  
Phone: 330-628-4896 Fax 330-628-5850



Application is hereby made for a DEVELOPMENT PERMIT as required by the Flood Damage Prevention Ordinance 2009-40 of the Village of Mogadore and for development in an identified flood hazard area. All activities shall be completed in accordance with the requirements of said Ordinance. The development to be performed is described below and in attachments hereto. The applicant understands and agrees that:

- this permit is issued on the conditions and facts described;
- any permit may be repealed if conditions or facts change;
- permit becomes void if the activity has not begun within 180 days of the issuance date;
- the permit will remain valid for one year from date of issuance.

Owner's Name: \_\_\_\_\_ Builder: \_\_\_\_\_

Address: \_\_\_\_\_ Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Phone: \_\_\_\_\_

Email: \_\_\_\_\_ Email: \_\_\_\_\_

NOTE: In addition to completion of this form the applicant agrees to submit any additional information required by the administrator in order to determine that the proposed development is compliant with the local and federal flood damage prevention criteria of the National Flood Insurance Program. Additional information may include but is not limited to: site specific plans to scale showing the nature, location, dimensions and elevations of the area and structure(s) in question.

**DESCRIPTION OF WORK**

1. Location of proposed development site-address: \_\_\_\_\_

County Parcel No.: \_\_\_\_\_

2. Kind of development proposed:

New building \_\_\_\_\_ existing structure \_\_\_\_\_ filling/grading \_\_\_\_\_

Residential \_\_\_\_\_ alteration \_\_\_\_\_ mining/dredging \_\_\_\_\_

Nonresidential \_\_\_\_\_ addition \_\_\_\_\_ watercourse alteration \_\_\_\_\_

Manufactured Home \_\_\_\_\_ accessory \_\_\_\_\_ Materials Storage \_\_\_\_\_

Other (Describe Activity) \_\_\_\_\_

\_\_\_\_\_

3. Proposed Construction Cost \$ \_\_\_\_\_

Estimated value of the existing structure \$ \_\_\_\_\_

*NOTE: An existing structure must comply with the flood protection standards if it is substantially improved (an improvement equal to or greater than 50% of the market value of the structure). FEMA maintains that the "substantial improvement" definition applies to existing structures only and that once a structure meets the definition of "new construction" any further improvements to that structure must meet "new construction" requirements. For floodplain management purposes "new construction" means structures for which "start of construction" began on or after the effective date of the initial Flood Insurance Rate Map issued by FEMA for the community.*

4. Does proposed development involve a subdivision or other development containing at least 50 lots or 5 acres (whichever is less)

Yes \_\_\_\_\_ No \_\_\_\_\_

NOTE: If yes, base flood elevation data is required from applicant if it has not been provided by FEMA.

I AGREE THAT ALL STATEMENTS IN AND ATTACHMENTS TO THIS APPLICATION ARE A TRUE DESCRIPTION OF THE EXISTING PROPERTY AND THE PROPOSED DEVELOPMENT ACTIVITY. I UNDERSTAND THE DEVELOPMENT REQUIREMENTS FOR SPECIAL FLOOD HAZARD AREA ACTIVITIES PER THE APPROPRIATE ORDINANCE (RESOLUTION) AND AGREE TO ABIDE THERETO. I UNDERSTAND IT IS MY RESPONSIBILITY TO OBTAIN ALL APPLICABLE FEDERAL, STATE AND LOCAL PERMITS.

\_\_\_\_\_  
Applicant's Signature

\_\_\_\_\_/\_\_\_\_\_/\_\_\_\_\_  
Date

#### **ADMINISTRATIVE**

*NOTE: The following is to be completed by the local floodplain administrator. All references to elevations are in feet mean sea level (m.s.l.). The term base flood elevations means the same as the 100-year elevation.*

5. Is the proposed development located in:

\_\_\_\_\_ An identified floodway

\_\_\_\_\_ A flood hazard area where base flood elevations exist with no identified floodway

\_\_\_\_\_ An area within the floodplain fringe

*NOTE: Floodway development must demonstrate through hydrologic and hydraulic analysis, performed in accordance with standard engineering practice that no increase in base flood elevation will result during occurrence of the base flood discharge. If base flood elevations exist with no floodway delineation, hydrologic and hydraulic analysis is required to demonstrate not more than one foot increase at any point to the water surface elevation of the base flood.*

6a. Does proposed development meet NFIP and local General Standards of Section \_\_\_\_\_ of your regulations?

\_\_\_\_\_ Construction materials and methods resistant to flood damage. \_\_\_\_\_ Anchored properly.

\_\_\_\_\_ Subdivision designed to minimize flood damage. \_\_\_\_\_ Utilities safe from flooding.

6b. Does proposed development meet NFIP and local Specific Standards of Section \_\_\_\_\_ of your regulations?

\_\_\_\_\_ Floodway Encroachments - proposed action will not obstruct flood waters.

\_\_\_\_\_ Proposed site grade elevations if fill or topographic alteration is planned.

\_\_\_\_\_ Proposed lowest floor elevation expressed in feet mean sea level.

\_\_\_\_\_ Proposed flood-proofed elevation expressed in feet mean sea level (nonresidential only).



7. Base flood elevation (100-year) at proposed site \_\_\_\_\_ feet m.s.l.  
Data source \_\_\_\_\_  
FIRM effective date \_\_\_\_\_ FEMA Community Number \_\_\_\_\_

8. Is the site with in a Zone without a BFE that has been established by FEMA? \_\_\_\_\_  
Is it the developer's responsibility to establish the BFE for this site/development? \_\_\_\_\_  
Has the Flood Protection Elevation been determined by the Floodplain Administrator? \_\_\_\_\_ feet m.s.l.

9. Does the structure contain:  
\_\_\_\_\_ Basement \_\_\_\_\_ enclosed area other than basement below the lowest floor?

10a. The proposed development is in compliance with applicable floodplain standards.

PERMIT ISSUED ON \_\_\_\_\_

10b. The proposed development is not in compliance with applicable floodplain standards.

PERMIT DENIED ON \_\_\_\_\_

Reason: \_\_\_\_\_

NOTE: *All structures must be built with the lowest floor, including the basement, elevated or floodproofed to or above the base flood elevation (100-year) unless a variance has been granted. Only nonresidential structures may be floodproofed.*

11. The proposed development is exempt from the floodplain standards per Section \_\_\_\_\_ of the Flood Damage Prevention Ordinance \_\_\_\_\_.

Administrator's Signature: \_\_\_\_\_ Date: \_\_\_\_\_

12. The certified as-built elevation of the structure's lowest floor is \_\_\_\_\_ feet above m.s.l.\*

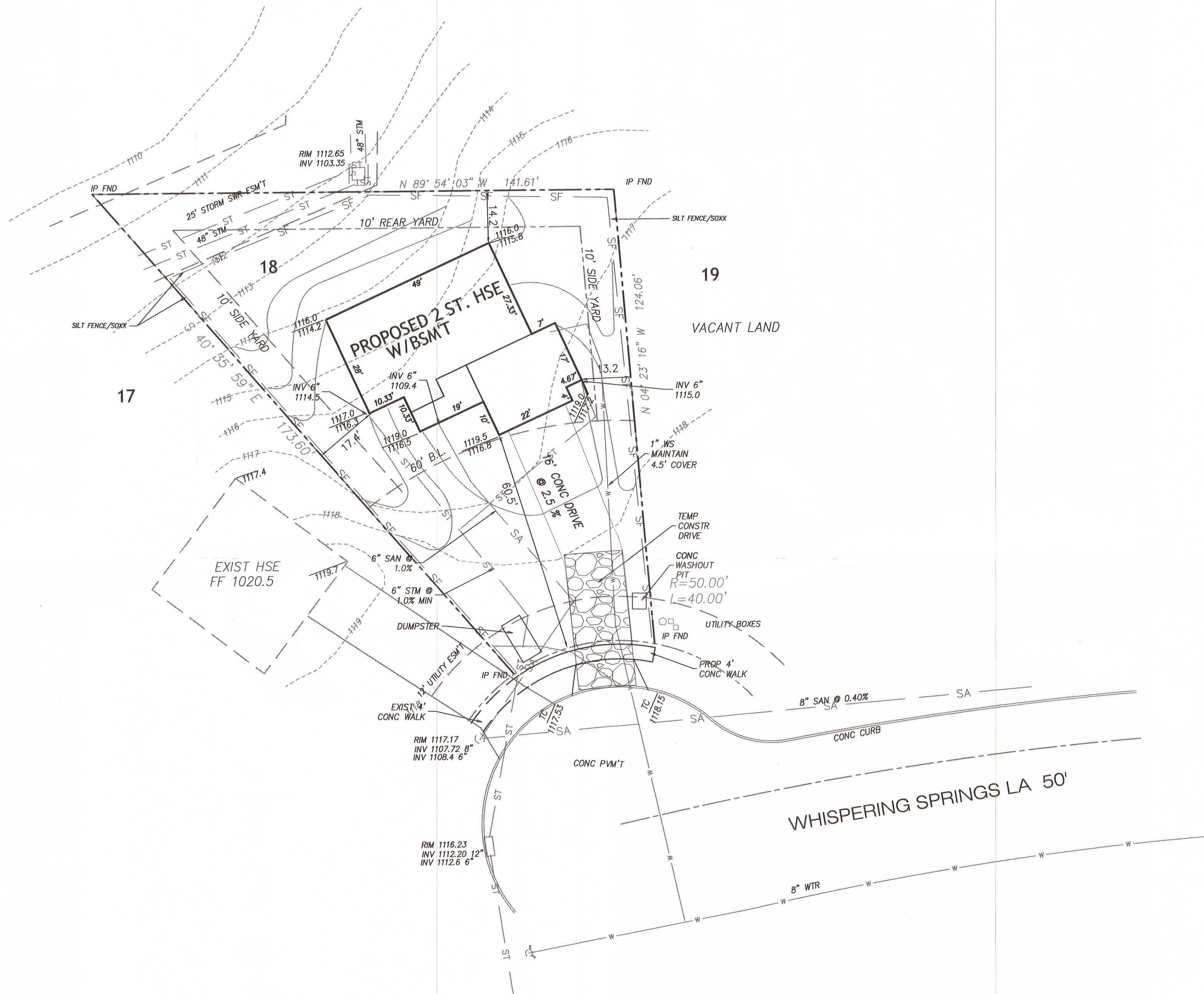
13. The certified as-built floodproofed elevation of the structure is \_\_\_\_\_ feet above m.s.l.\*

NOTE: *\*Certificates of a registered engineer or land surveyor documenting these elevations are necessary if elevations are provided by applicant.*



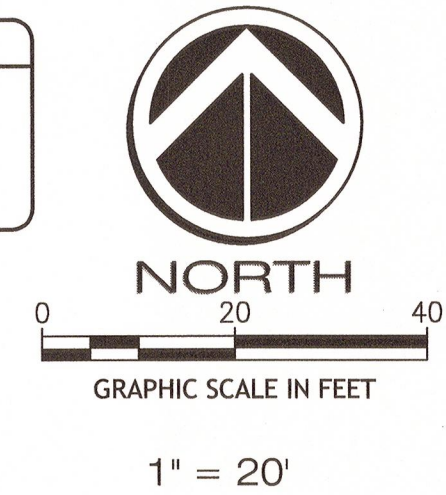
E:\MOSHUBERY\7-0079-040 4060 WHISPERING SPRINGS SURVEY\4060 SITE.DWG - LA 6- 7/25/2017 10:48:58 AM

SAMPLE RESIDENTIAL SITE PLAN



BM #1  
RIM OF SANITARY MANHOLE  
IN CUL-DE-SAC  
ELEVATION= 1119.64

BM #2  
RIM OF SANITARY MANHOLE  
AT CUL-DE-SAC  
ELEVATION= 1117.17



- CONSTRUCTION NOTES:
1. SUMP PUMP REQUIRED FOR FOOTER DRAINS
  2. VERIFY SANITARY LATERAL INVERT PRIOR TO BASEMENT EXCAVATION.
  3. MAINTAIN EROSION CONTROLS UNTIL LANDSCAPE IS ESTABLISHED OVER 85% OF DISTURBED AREAS.
  4. MAINTAIN POSITIVE DRAINAGE FROM FOUNDATION.
  5. THERE ARE NO RIPARIAN SETBACKS ON THIS LOT.
  6. THE PROPERTY IS LOCATED IN FLOOD ZONE X ( MINIMAL FLOODING POTENTIAL) PER FEMA FLOOD MAP 39133C0217D DATED AUGUST 18, 2009.
  7. SETBACKS PER ZONING CODE FRONT YARD 60' CORNER FRONT YARD 40% (20') SIDE YARD 10' REAR YARD 10'

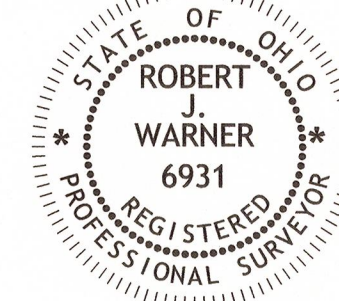
HOUSE ELEVATIONS:

FIRST FLR	1121.00
T/FND	1120.00
BOT/ FTR (9' WALL)	1110.33
BSMT/FLR	1111.33
GAR FLR	1119.67

APPROVED  
Gene A Hill  
Village Engineer  
7/26/17

I HEREBY CERTIFY THAT I HAVE SURVEYED THE LANDS SHOWN HEREON AND THAT THIS MAP REPRESENTS THE LAND SURVEYED TO THE BEST OF MY KNOWLEDGE AND BELIEF

Robert J. Warner  
ROBERT J. WARNER P.S. 6931



2 WORKING DAYS  
BEFORE YOU DIG  
CALL TOLL FREE 800-362-2764  
OHIO UTILITIES PROTECTION SERVICE  
NOTE: BEFORE ANY SITE WORK BEGINS OHIO LAW REQUIRES THAT OUPS BE CONTACTED FOR LOCATION OF UNDERGROUND UTILITIES.

Environmental  
Design Group  
450 Grant Street Phone 330.375.1390  
Akron, OH 44311 Fax 330.375.1590  
www.envdesigngroup.com

NO.	REVISION DATA	DATE
1	HOUSE LOCATION	06-13-17
2	REVISE 1118 CONTOUR	07-07-2017
3	CHANGE HOUSE LOCATION	07-25-2017

LOT IMPROVEMENT PLAN  
PPN 39-047-10-00-011-018  
MEADOWS OF MOGADORE  
LOT 18  
4060 WHISPERINGS SPRINGS  
MOGADORE OHIO  
2017

PROJECT NO.: #####  
DESIGNED BY: RJW  
DRAWN BY: RJW  
CHECKED BY: RJW  
DATE ISSUED: MAY 2017

SITE  
PLAN



SIDEWALK OR SEEDING & MULCHING, 4" TOPSOIL AND TYPE 1 SEED PER ODOT ITEM 659

BACK OF CURB/EDGE OF PAVEMENT

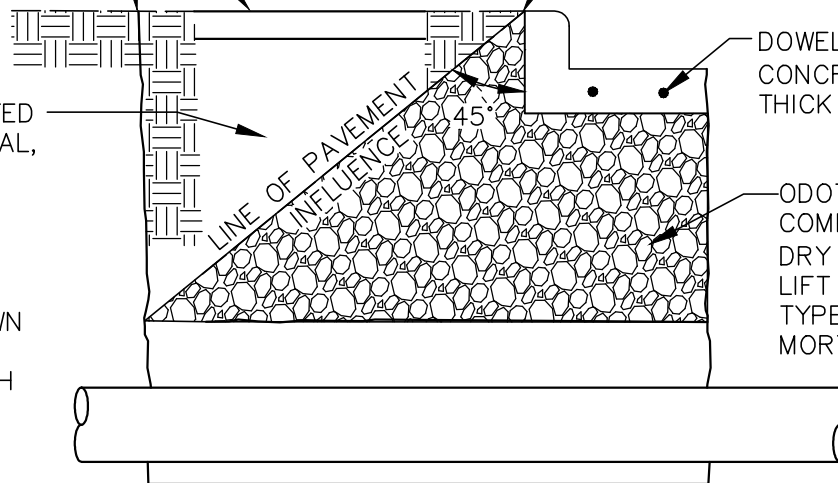
SUITABLE COMPACTED EXCAVATED MATERIAL, 12" MAX LIFT

DOWEL (TYP) IF EXISTING CONCRETE MORE THAN 7" THICK

ODOT ITEM 304, COMPACTED TO 95% MAX. DRY DENSITY— 6" MAX. LIFT OR ODOT ITEM 613, TYPE 1 LOW STRENGTH MORTAR.

#### PAVEMENT NOTES:

1. THICKNESSES SHOWN ARE MINIMUM. CONTRACTOR TO MATCH EXISTING PAVEMENT.
2. ALL AGGREGATES SHALL BE CRUSHED, VIRGIN LIMESTONE.



#### TRENCH DETAIL

N.T.S.

EPOXY COATED 3/4" DOWEL, 18" LONG 12" C/C (CENTER IN SLAB) (6" MIN. FROM SIDES OF REPAIR). THE USE OF ODOT APPROVED EXPANSION ANCHOR HOOK BOLTS (712.01A) MAY ALSO BE USED. NO SELF DRILLING TAP ANCHORS ALLOWED.

BITUMINOUS SEALER PER ODOT ITEM 705.04, ALL SIDES. CUT 1 1/2" DEEP X 1/4" WIDE GROOVE TO ACCEPT JOINT SEAL.

REPLACE TO EXISTING JOINT IF JOINT IS WITHIN 3' OF REPAIR

DRILL 1" HOLE, 9" DEEP AND SECURE DOWELS WITH GROUT PER ODOT 705.20 BLOW OUT HOLES WITH COMPRESSED AIR PRIOR TO GROUTING. INSTALL GROUT RETENTION DISK PER ODOT DETAIL BP 2.5.

SAW CUT EACH SIDE

O.D.O.T. ITEM 451, 9" MIN. THICKNESS, MATCH EXISTING WITH CLASS MS CONC.

COMPACTED BEDDING PER UTILITY OR USE #57 OR #67 ANGULAR AGGREGATE. NO SLAG.

6"X6"X6 GA. WIRE FABRIC

1'-0" MIN. EACH SIDE

BACKFILL WITH ODOT ITEM 304, COMPACTED TO 95% MAX. DRY DENSITY — 6" MAX. LIFT OR ODOT ITEM 613, TYPE 1 LSM. EXTEND BEHIND CURB AT A 45° ANGLE. (SEE ABOVE)

NOTE: IF THE REPAIR IMPACTS AN EXISTING EXPANSION JOINT, THE JOINT MUST BE RE-ESTABLISHED.

#### TYPICAL SECTION FOR REPAIRING CONCRETE ROADS

N.T.S.

VILLAGE OF MOGADORE  
STANDARD DRAWING ROAD 1  
REVISION: 11/17/17

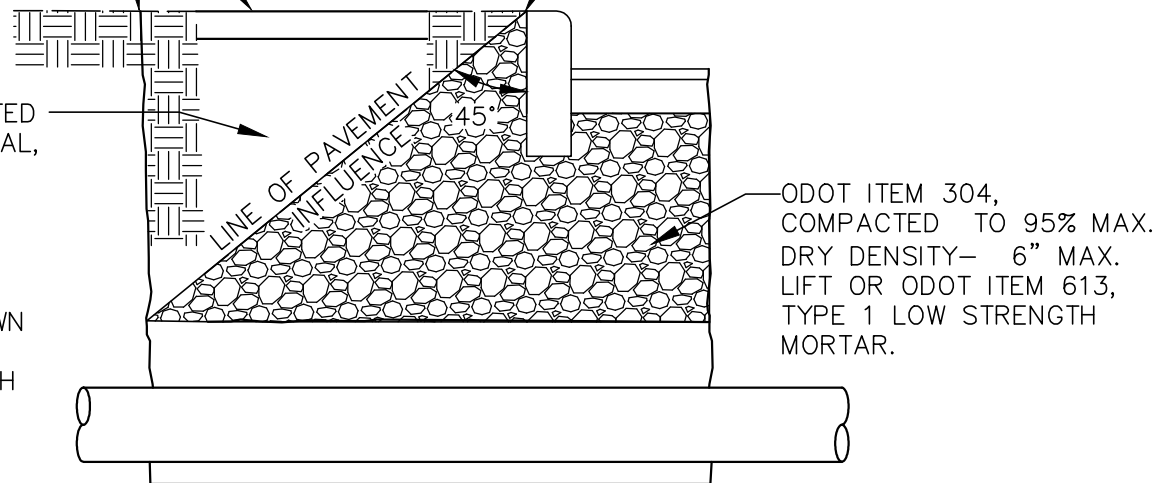
SIDEWALK OR SEEDING &  
MULCHING, 4" TOPSOIL  
AND TYPE 1 SEED PER  
ODOT ITEM 659

BACK OF CURB/EDGE  
OF PAVEMENT

SUITABLE COMPACTED  
EXCAVATED MATERIAL,  
12" MAX LIFT

PAVEMENT NOTES:

1. THICKNESSES SHOWN  
ARE MINIMUM.  
CONTRACTOR TO MATCH  
EXISTING PAVEMENT.
2. ALL AGGREGATES  
SHALL BE CRUSHED, VIRGIN  
LIMESTONE.



TRENCH DETAIL  
N.T.S.

BITUMINOUS SEALER  
PER ODOT ITEM  
705.04 (ALL SIDES)

1 1/2" ODOT ITEM 448, TYPE 1, ASPHALT  
CONCRETE SURFACE COURSE

6" ODOT ITEM 301 ASPHALT CONCRETE BASE (USE FOR  
RESIDENTIAL STREETS OR WITH LSM BACKFILL)

8" ODOT ITEM 305 BASE (MAIN ROADS)

6" ODOT ITEM 304 AGGREGATE BASE (NOT  
REQUIRED WITH LSM BACKFILL)

ODOT ITEM 407 TACK COAT  
@ 0.1 GAL/SQ.YD.

SAW CUT  
EACH SIDE

1'-0" MIN.  
EACH SIDE

12"  
MAX

COMPACTED BEDDING PER UTILITY  
OR USE #57 OR #67 ANGULAR  
AGGREGATE. NO SLAG.

BACKFILL WITH ODOT ITEM 304,  
COMPACTED TO 95% MAX. DRY  
DENSITY - 6" MAX. LIFT OR  
ODOT ITEM 613, TYPE 1 LSM.  
EXTEND BEHIND CURB AT A  
45° ANGLE. (SEE ABOVE)

d + 2' MIN.

TYPICAL SECTION FOR REPAIRING ASPHALT SURFACE AND ASPHALT BASE ROADS

N.T.S.

VILLAGE OF MOGADORE  
STANDARD DRAWING ROAD 2  
REVISION: 11/17/17

SIDEWALK OR SEEDING & MULCHING, 4" TOPSOIL AND TYPE 1 SEED PER ODOT ITEM 659

BACK OF CURB/EDGE OF PAVEMENT

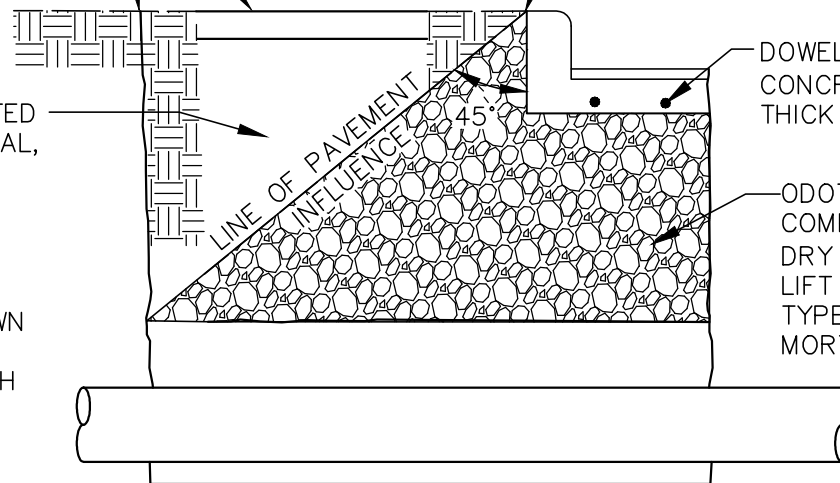
SUITABLE COMPACTED EXCAVATED MATERIAL, 12" MAX LIFT

DOWEL (TYP) IF EXISTING CONCRETE MORE THAN 7" THICK

ODOT ITEM 304, COMPACTED TO 95% MAX. DRY DENSITY— 6" MAX. LIFT OR ODOT ITEM 613, TYPE 1 LOW STRENGTH MORTAR.

PAVEMENT NOTES:

1. THICKNESSES SHOWN ARE MINIMUM. CONTRACTOR TO MATCH EXISTING PAVEMENT.
2. ALL AGGREGATES SHALL BE CRUSHED, VIRGIN LIMESTONE.



TRENCH DETAIL  
N.T.S.

ODOT ITEM 402 TACK COAT @ 0.1 GAL./SQ. YD.

1 1/2" ODOT ITEM 448, TYPE 1, ASPHALT CONCRETE SURFACE COURSE

BITUMINOUS SEALER PER ODOT ITEM 705.04 (ALL SIDES)

8" ODOT ITEM 305 PORTLAND CEMENT, TYPE MS CONCRETE BASE

6"X6"X6 GA. WIRE FABRIC

EPOXY COATED 3/4" DOWEL, 18" LONG 12" C/C (CENTER IN SLAB) (6" MIN. FROM SIDES OF REPAIR). THE USE OF ODOT APPROVED EXPANSION ANCHOR HOOK BOLTS (712.01A) MAY ALSO BE USED. NO SELF DRILLING TAP ANCHORS ALLOWED.

DRILL 1" HOLE, 9" DEEP AND SECURE DOWELS WITH GROUT PER ODOT 705.20 BLOW OUT HOLES WITH COMPRESSED AIR PRIOR TO GROUTING. INSTALL GROUT RETENTION DISK PER ODOT DETAIL BP 2.5.

SAW CUT EACH SIDE

12" MAX

1'-0" MIN. EACH SIDE

COMPACTED BEDDING PER UTILITY OR USE #57 OR #67 ANGULAR AGGREGATE. NO SLAG.

BACKFILL WITH ODOT ITEM 304, COMPACTED TO 95% MAX. DRY DENSITY — 6" MAX. LIFT OR ODOT ITEM 613, TYPE 1 LSM. EXTEND BEHIND CURB AT A 45° ANGLE. (SEE ABOVE)

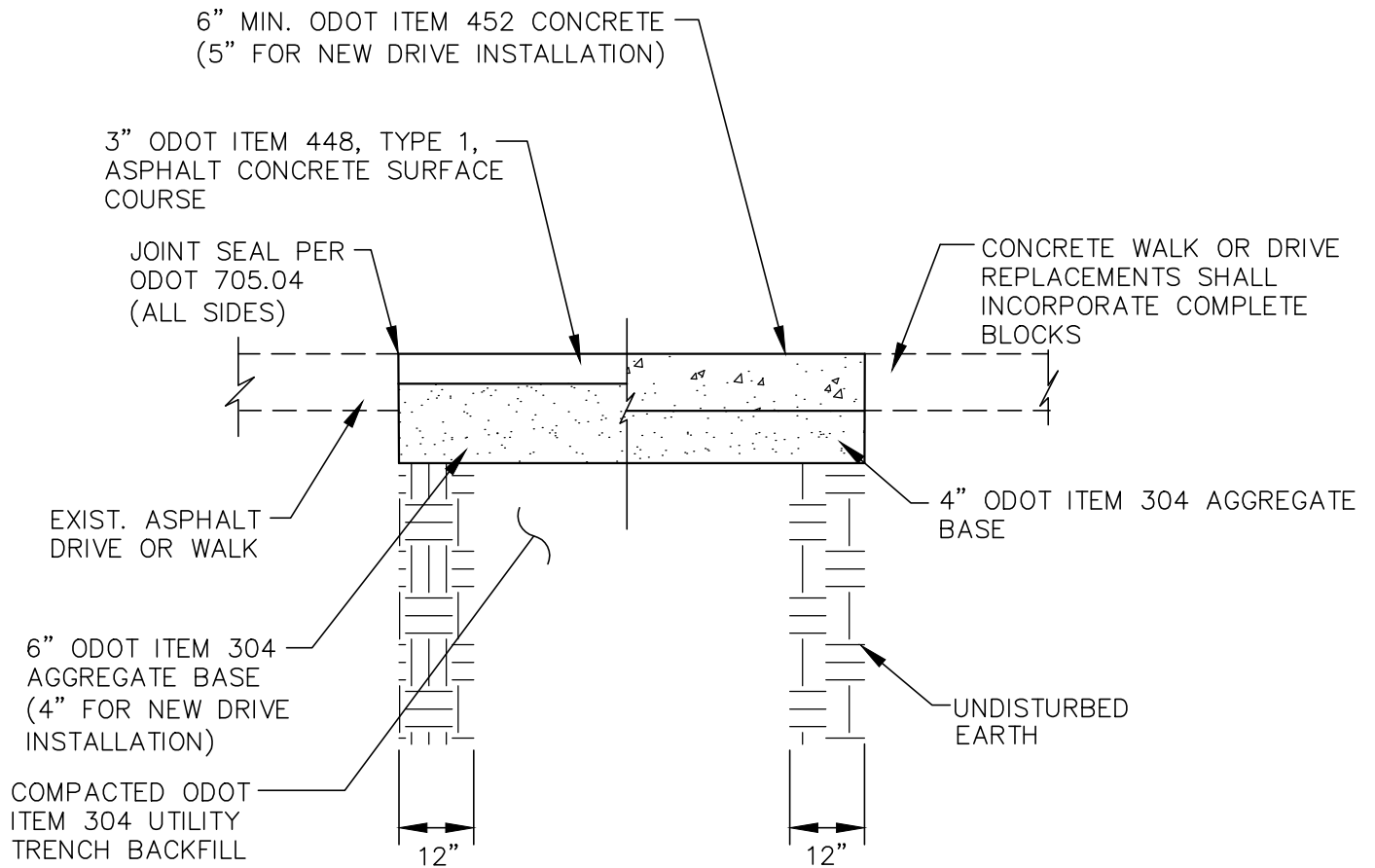
d + 2' MIN.

NOTE: IF THE REPAIR IMPACTS AN EXISTING EXPANSION JOINT, THE JOINT MUST BE RE-ESTABLISHED PER THE CUYAHOGA COUNTY ENGINEER'S DETAIL BP-2.5C, JOINT TYPE X.

ASPHALT SURFACE OVER CEMENT CONCRETE BASE ROAD

N.T.S.

VILLAGE OF MOGADORE  
STANDARD DRAWING ROAD 3  
REVISION: 11/17/17



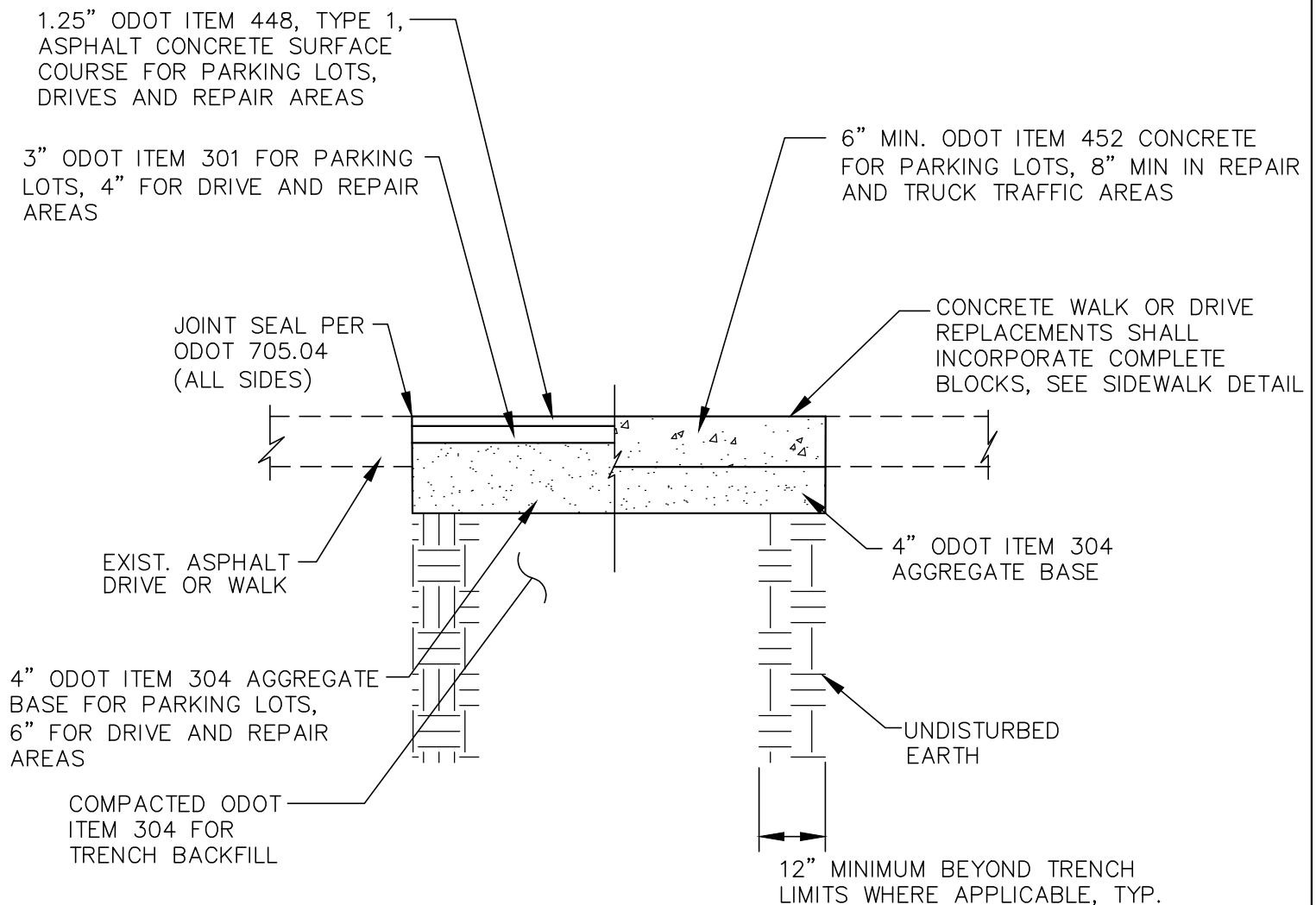
GENERAL PAVEMENT NOTE:

1. WHERE EDGES OF REPLACED SECTION EXTENDS WITHIN 2'-0" OF DRIVEWAY EDGE, PAVEMENT IS TO BE REPLACED TO DRIVEWAY EDGE.
2. THICKNESSES SHOWN ARE MINIMUM. CONTRACTOR TO MATCH EXISTING PAVEMENT.
3. ALL AGGREGATES SHALL BE CRUSHED, VIRGIN LIMESTONE.
4. CONCRETE TO HAVE 4,500 PSI, 28 DAY COMPRESSIVE STRENGTH; DO NOT ADD EXCESS WATER.

RESIDENTIAL ASPHALT OR CONCRETE DRIVEWAY REPAIR

N.T.S

VILLAGE OF MOGADORE  
STANDARD DRAWING ROAD 4  
REVISION: 11/17/17

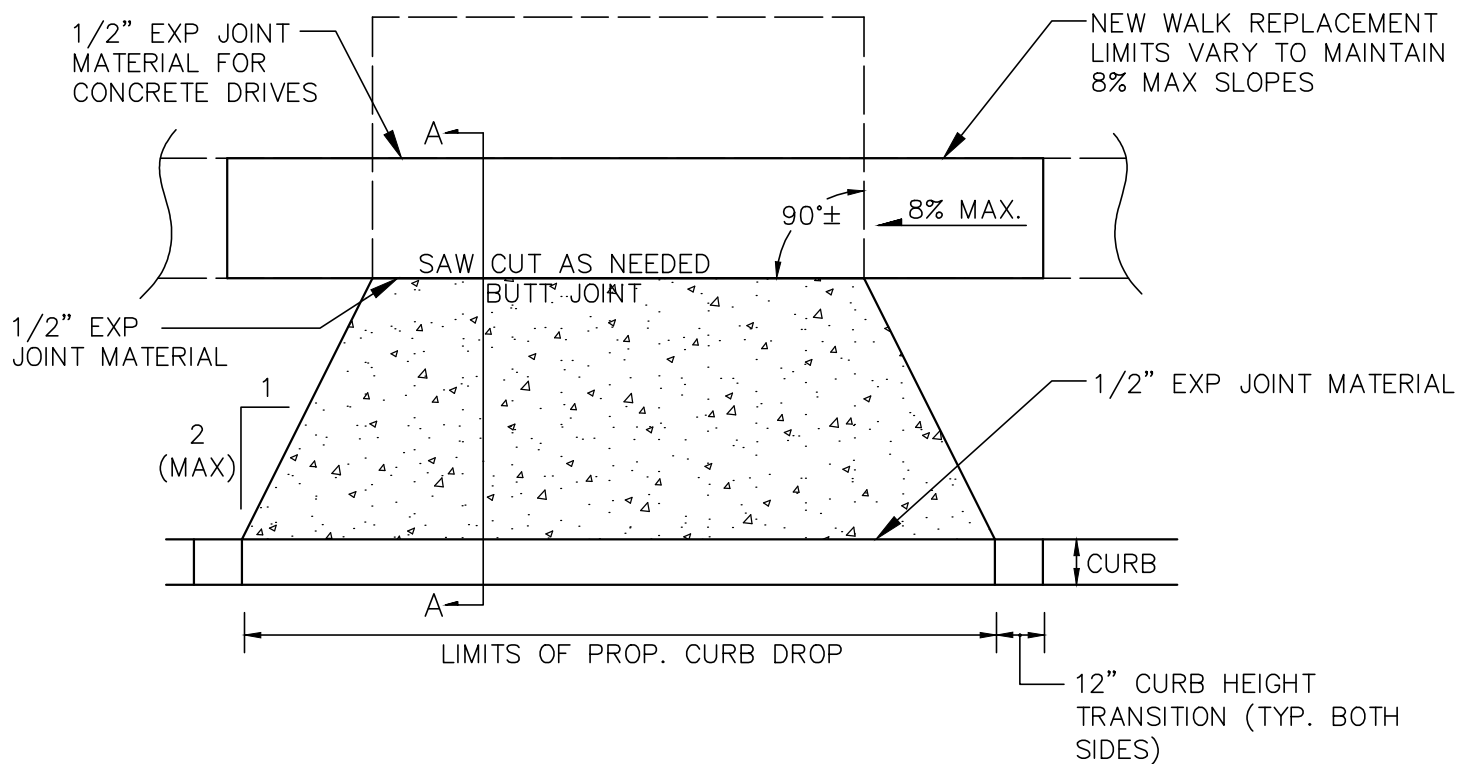


GENERAL PAVEMENT NOTE:

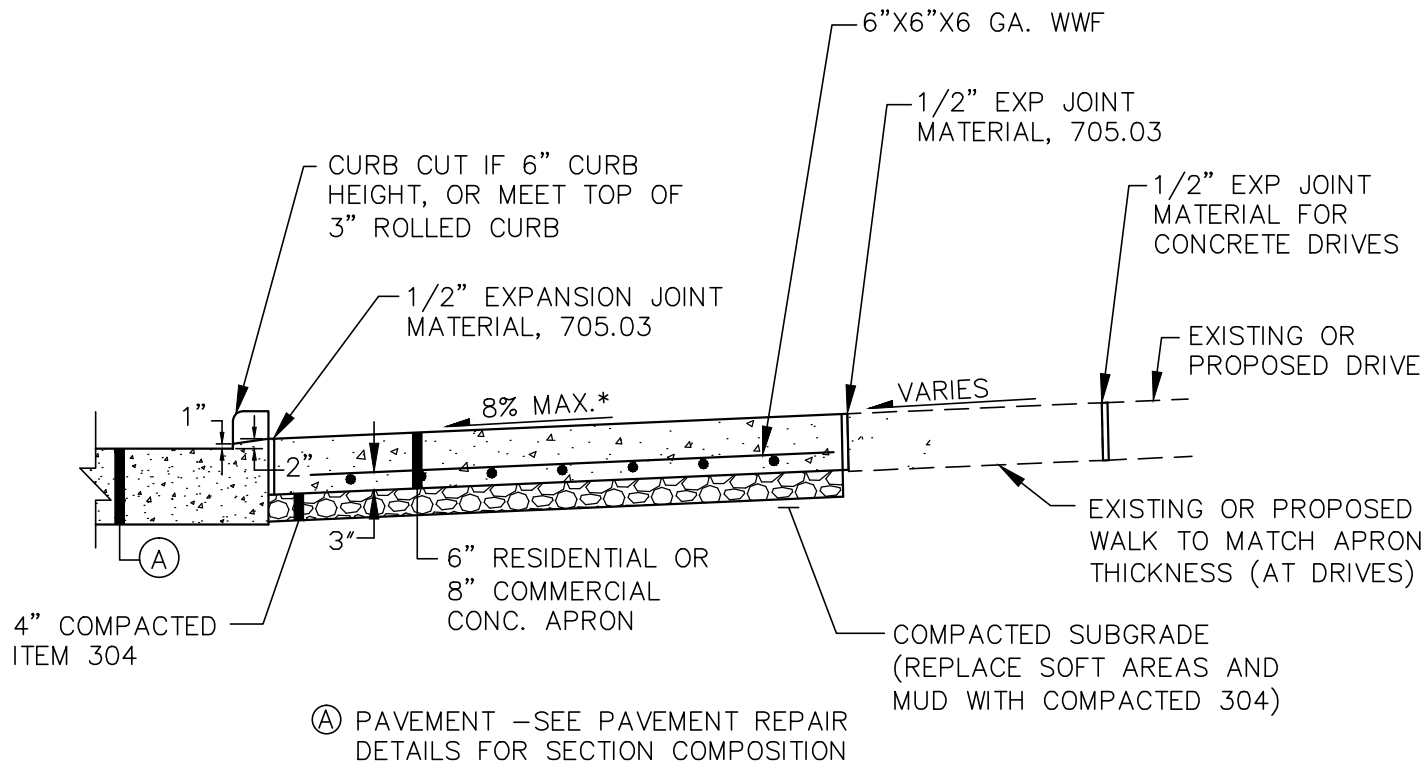
1. THICKNESSES SHOWN ARE MINIMUM. CONTRACTOR TO MATCH EXISTING PAVEMENT IN REPAIR AREAS.
2. ALL AGGREGATES SHALL BE CRUSHED, VIRGIN LIMESTONE.
3. ALL PAVEMENT INSTALLATION/REPAIR SHALL BE WITNESSED BY THE LOCAL INSPECTOR. A PROOFROLL USING A TRI-AXLE TRUCK LOADED WITH 15 TONS OF STONE WILL BE REQUIRED FOR AREAS LARGER THAN 300 S.F.

COMMERCIAL ASPHALT OR CONCRETE PARKING LOTS  
N.T.S

VILLAGE OF MOGADORE  
STANDARD DRAWING ROAD 5  
REVISION: 11/17/17



DRIVEWAY APRON  
N.T.S.

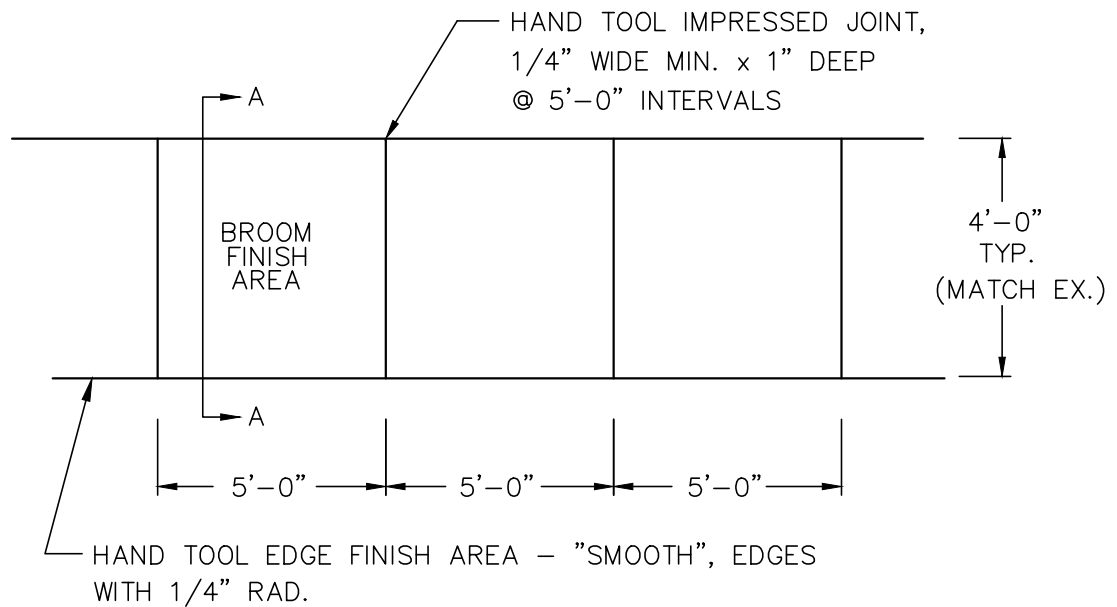


\*SITE PLAN AND DRIVE SLOPES TO BE COORDINATED TO MAINTAIN SLOPES LESS THAN 8%

CURB DROP DETAIL, A-A  
N.T.S.

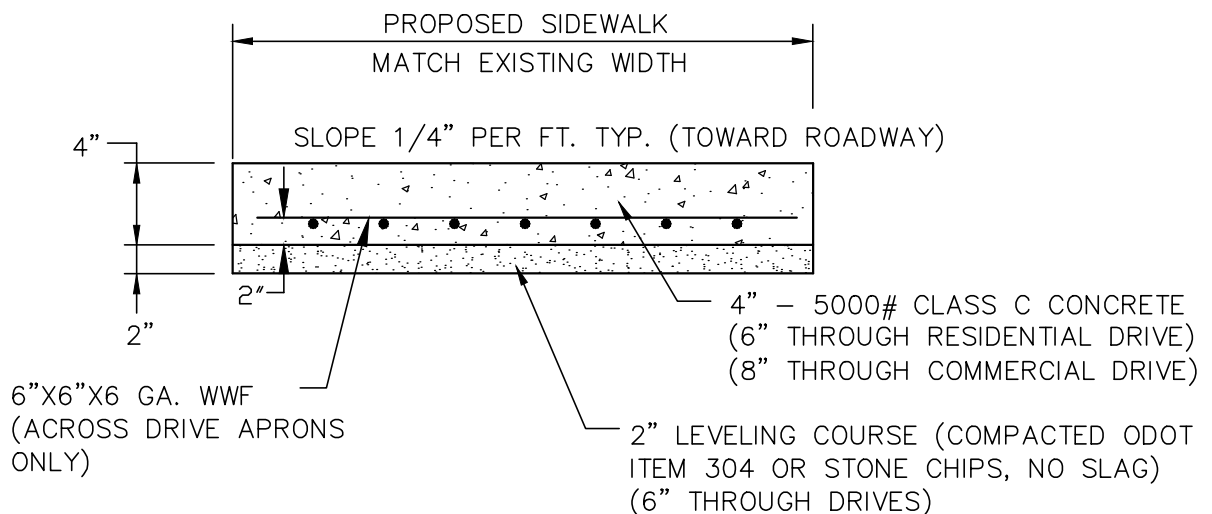
VILLAGE OF MOGADORE  
STANDARD DRAWING ROAD 6  
REVISION: 11/17/17





### PLAN VIEW

NOT TO SCALE



### SECTION A-A

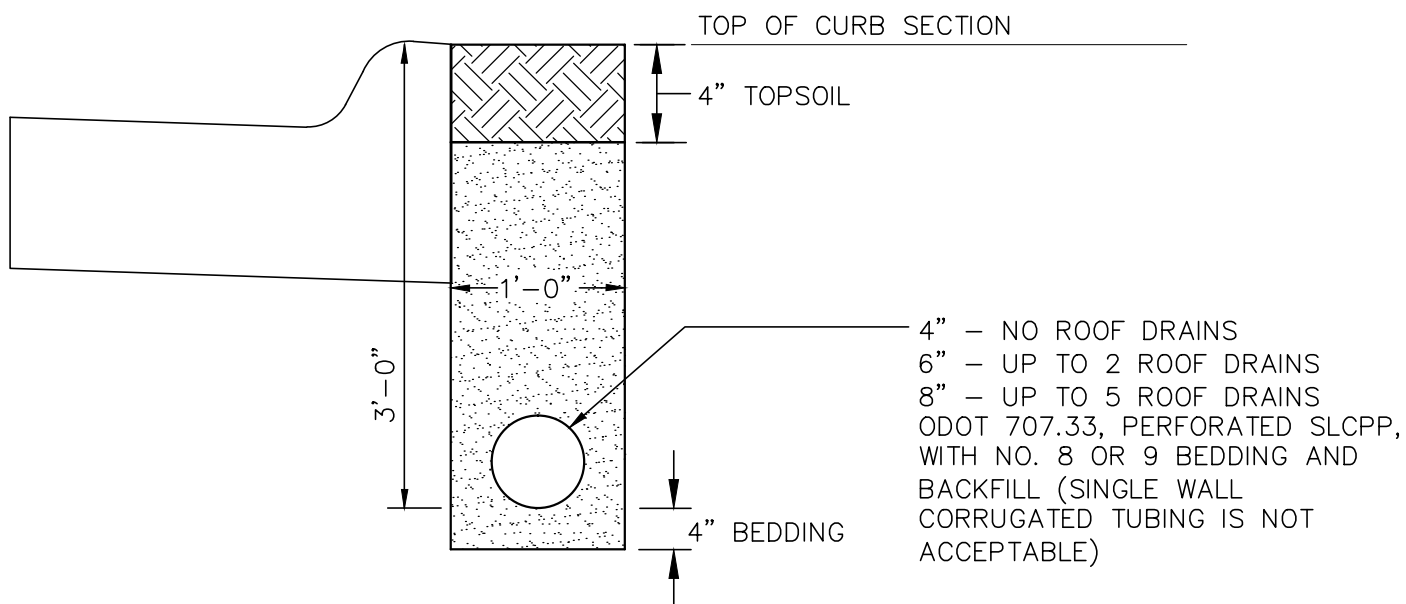
NOT TO SCALE

NOTE: EXPANSION JOINT SHALL BE PLACED AT FIFTY FOOT (50') INTERVALS AND SCORE MARKS SHALL BE AT FIVE FOOT (5') INTERVALS. CONSTRUCTION SHALL BE IN ACCORDANCE WITH O.D.O.T. ITEM 608. EXPANSION MATERIAL SHALL BE 1/4" THICK (MIN) AND CONFIRM TO ODOT 705.03.

### CONCRETE SIDEWALK

N.T.S

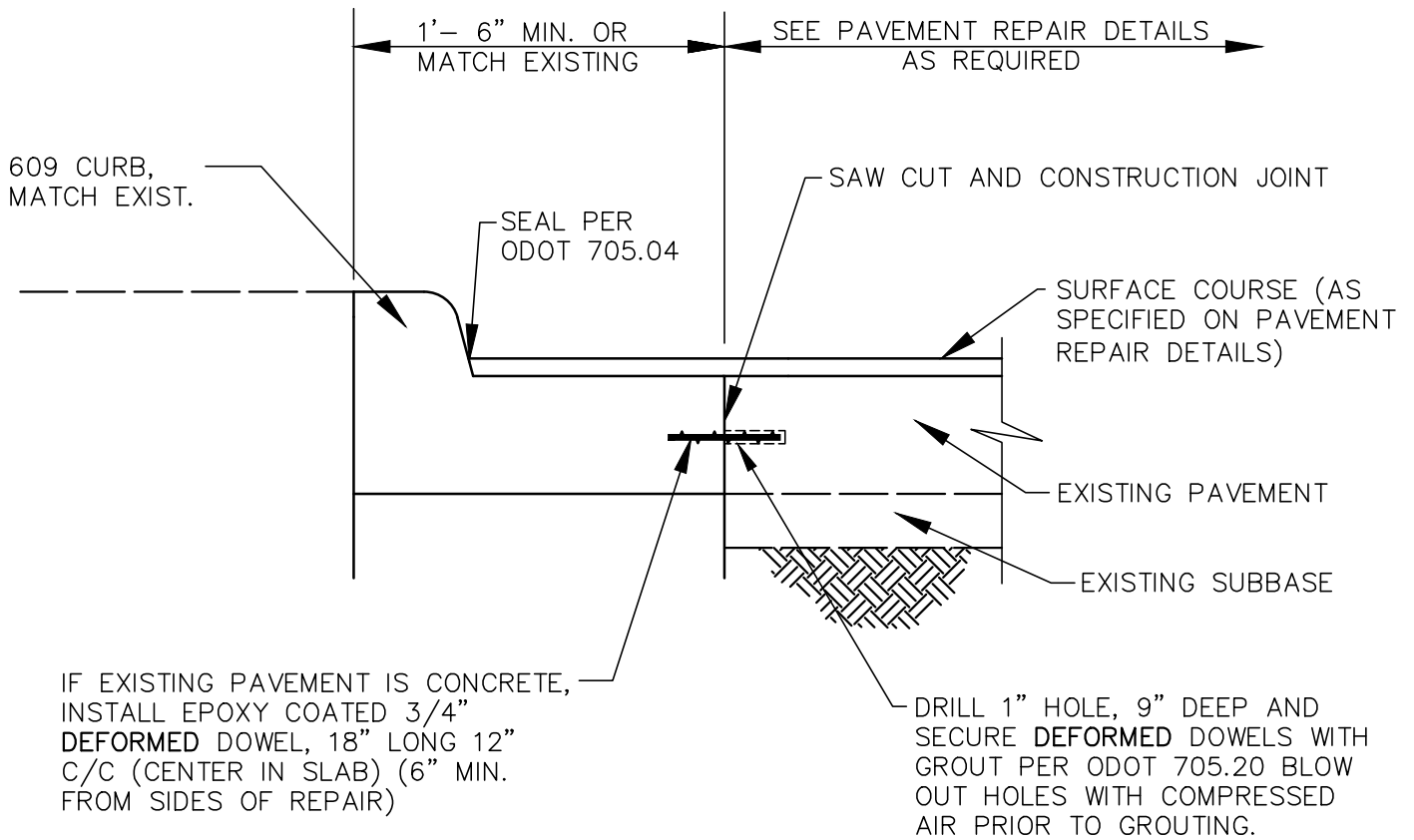
VILLAGE OF MOGADORE  
STANDARD DRAWING ROAD 7  
REVISION: 11/17/17



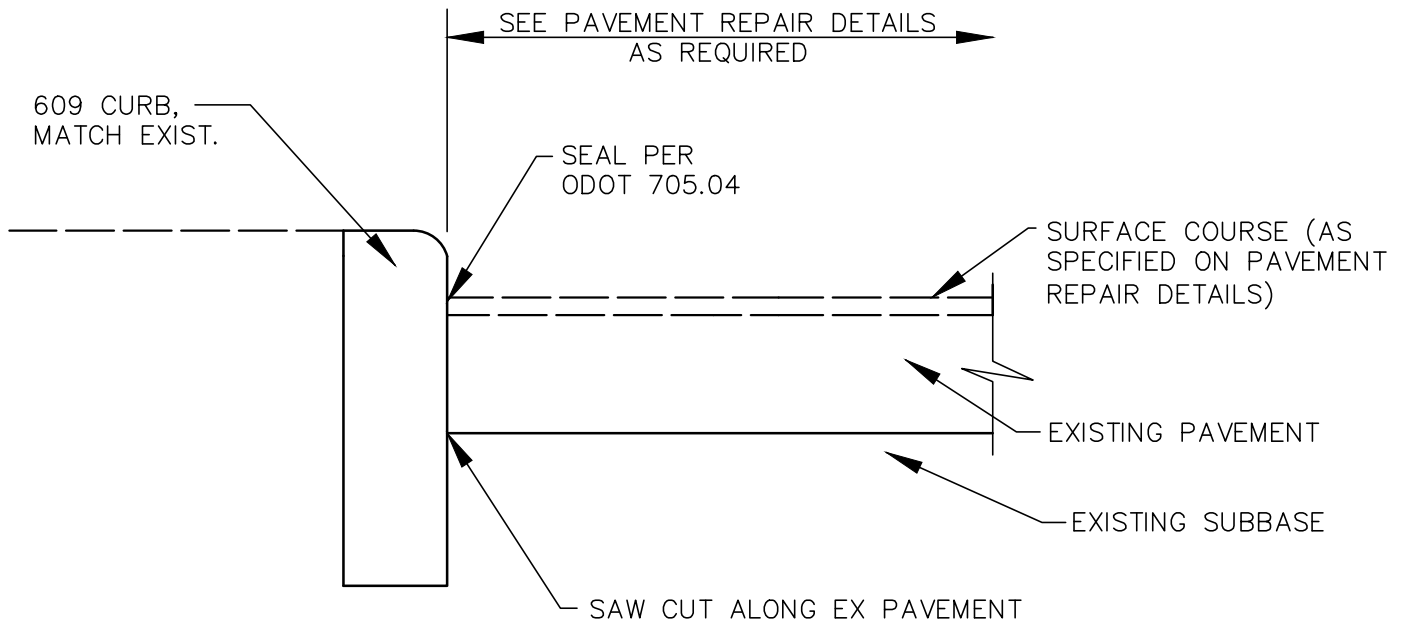
NOTE: UNDERDRAIN MAY BE LOCATED DIRECTLY UNDER CURB. USE HEAVY DUTY FERNCO STYLE REPAIR COUPLINGS WITH STAINLESS STEEL BAND CLAMPS. MAINTAIN FLOWLINE OF EXISTING UNDERDRAIN IF REPAIRED.

UNDERDRAIN DETAIL  
 N.T.S

VILLAGE OF MOGADORE  
 STANDARD DRAWING ROAD 8  
 REVISION: 11/17/17

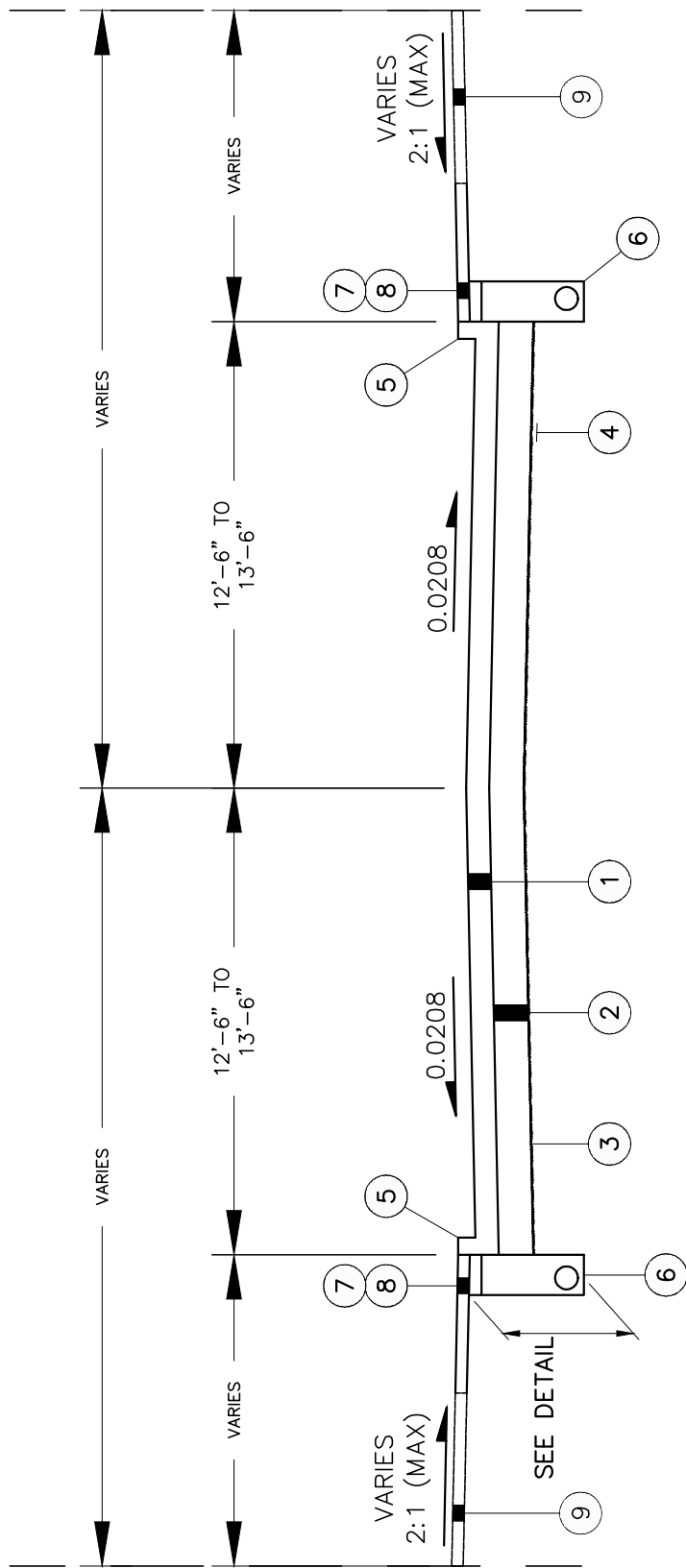


INTEGRAL CONCRETE CURB REPAIR DETAIL  
N.T.S.



6" X 18" CONCRETE CURB REPAIR DETAIL  
N.T.S.

VILLAGE OF MOGADORE  
STANDARD DRAWING ROAD 9  
REVISION: 11/17/17



## TYPICAL ROADWAY SECTION

N.T.S.

### PROPOSED LEGEND

- |               |   |                    |  |
|---------------|---|--------------------|--|
| ① ITEM 452 –  | NON-REINFORCED CONCRETE PAVEMENT, 8" THICK W/ INTEGRAL CURB & DOWELED CONTRACTION JOINT CONNECTIONS. EXPANSION JOINTS PER ODOT BP-2.2 REQUIRED AT EACH LEG OF INTERSECTIONS AND EVERY 600'. | ⑥ ITEM 605 –       | UNDERDRAINS, PER DETAIL, ODOT 707.33, TYPE SP, SLOTTED WITH #8 PEA-GRAVEL BACKFILL, SEE DETAIL |
| ② ITEM 304 –  | 8" COMPACTED BASE (NO RECYCLED)   | ⑦ ITEM 659 –       | SEEDING & MULCHING   |
| ③ ITEM SPEC – | GEOGRID, TENSAR TX-160 OR APPROVED EQUAL  | ⑧ ITEM 653 –       | SCREENED TOPSOIL FURNISHED & PLACED (4")   |
| ④ ITEM 204 –  | SUBGRADE COMPACTION AND PROOF ROLLING   | ⑨ EX. WALK OR LAWN |  |
| ⑤ ITEM 609 –  | INTEGRAL CURB, ODOT TYPE 2A   |                    |  |

VILLAGE OF MOGADORE  
STANDARD DRAWING ROAD 10  
REVISION: 11/17/17

INSTALL GRAVEL AND  
1 1/2"-2" OF WEAK  
GROUT (OR 1/2"  
SELF LEVELING  
POLYURETHANE) @  
FLOOR OPENING  
(HOLE OD = FLANGE  
OD + 2" MIN)

INSTALL TEMPORARY CAP  
FOR REMOVAL BY INTERNAL  
PIPING INSTALLER

3/4" ROD  
(TYP OF 4)

FL x PE  
SPOOL

THRUST BLOCK TO  
UNDISTURBED SOIL,  
DO NOT COVER  
RESTRAINED JOINTS.  
WRAP BOLTS AND  
RESTRAINTS WITH  
POLYWRAP OR  
POLYETHYLENE  
SHEETING.

4 SQ FT  
MIN

12"-18"  
A.F.F.

FINISHED GRADE

4'-6" TYP.  
COVER @ BLDG.

12"  
MIN

12" MIN

GRANULAR BEDDING/BACKFILL PER  
C.W.D. STANDARDS (NO SLAG)

8" RESTRAINED MECHANICAL  
JOINT FITTING, RESTRAINED  
PIPE TO EXTEND 2 FULL PIPE  
LENGTHS OR TO A TEE,  
WHICHEVER OCCURS FIRST

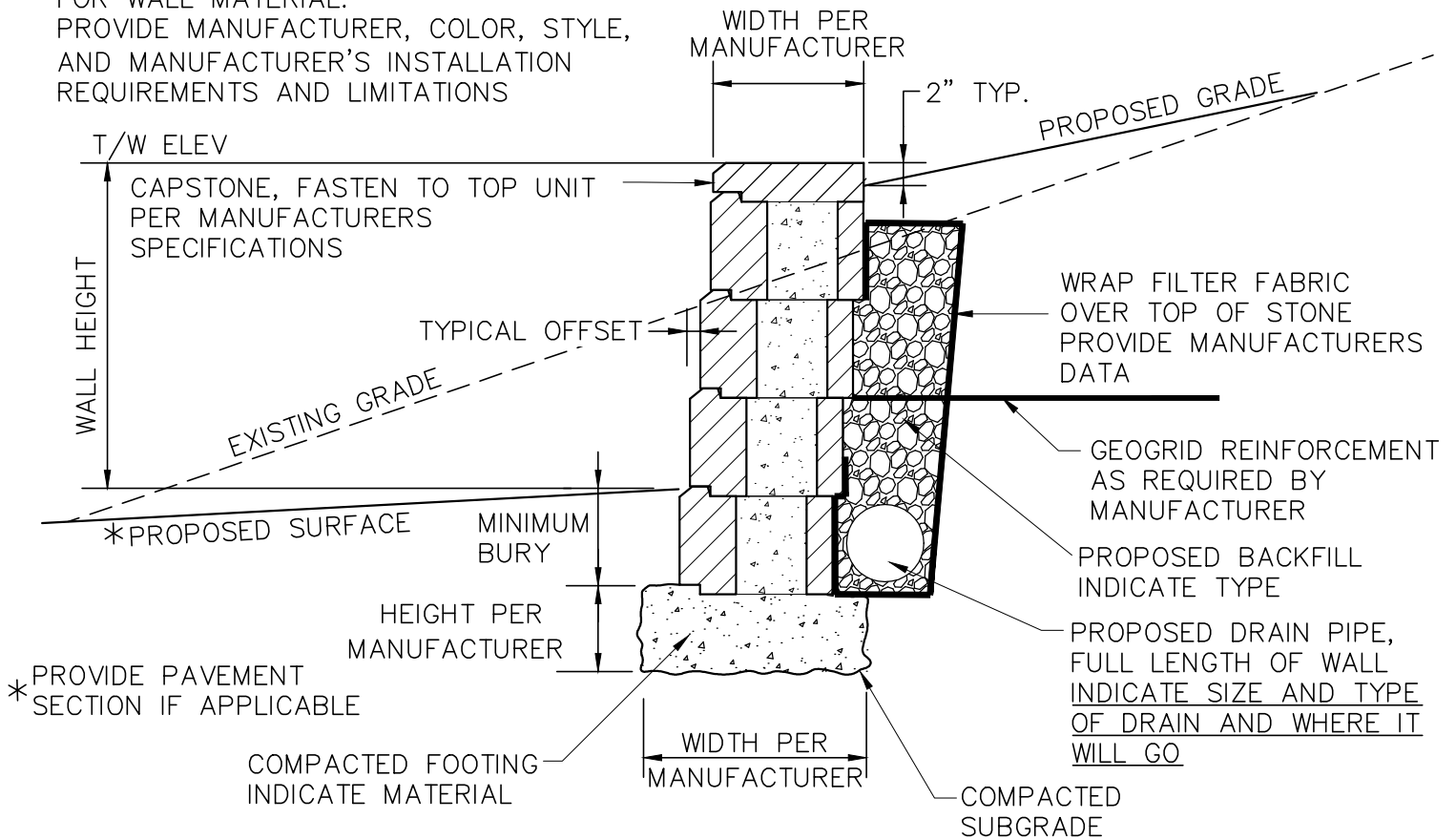
# TYPICAL FIRE PROTECTION BUILDING PENETRATION DETAIL\*

N.T.S

\* ALL PRIVATE FIRELINE WORK TO BE PERFORMED BY AN INSTALLER  
CERTIFIED PER CHAPTER 9 OF THE OHIO FIRE CODE (OFC). CERTIFIED  
FIRELINE INSTALLER TO INSTALL ALL PIPING FROM THE DISCHARGE OF  
THE BFP TO THE TEMPORARY CAP WITHIN IN THE BUILDING.

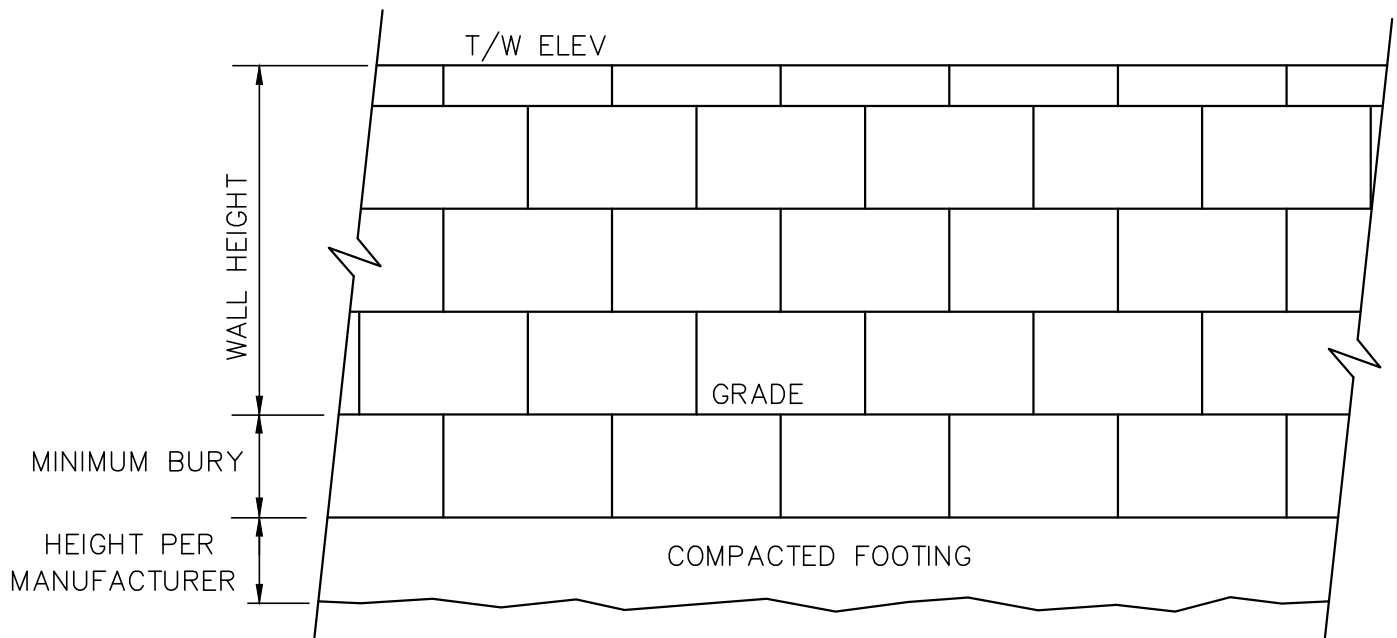
VILLAGE OF MOGADORE  
STANDARD DRAWING FIRE 1  
REVISION: 11/17/16

FOR WALL MATERIAL:  
 PROVIDE MANUFACTURER, COLOR, STYLE,  
 AND MANUFACTURER'S INSTALLATION  
 REQUIREMENTS AND LIMITATIONS



MODULAR BLOCK RETAINING WALL TYPICAL SECTION

N.T.S.



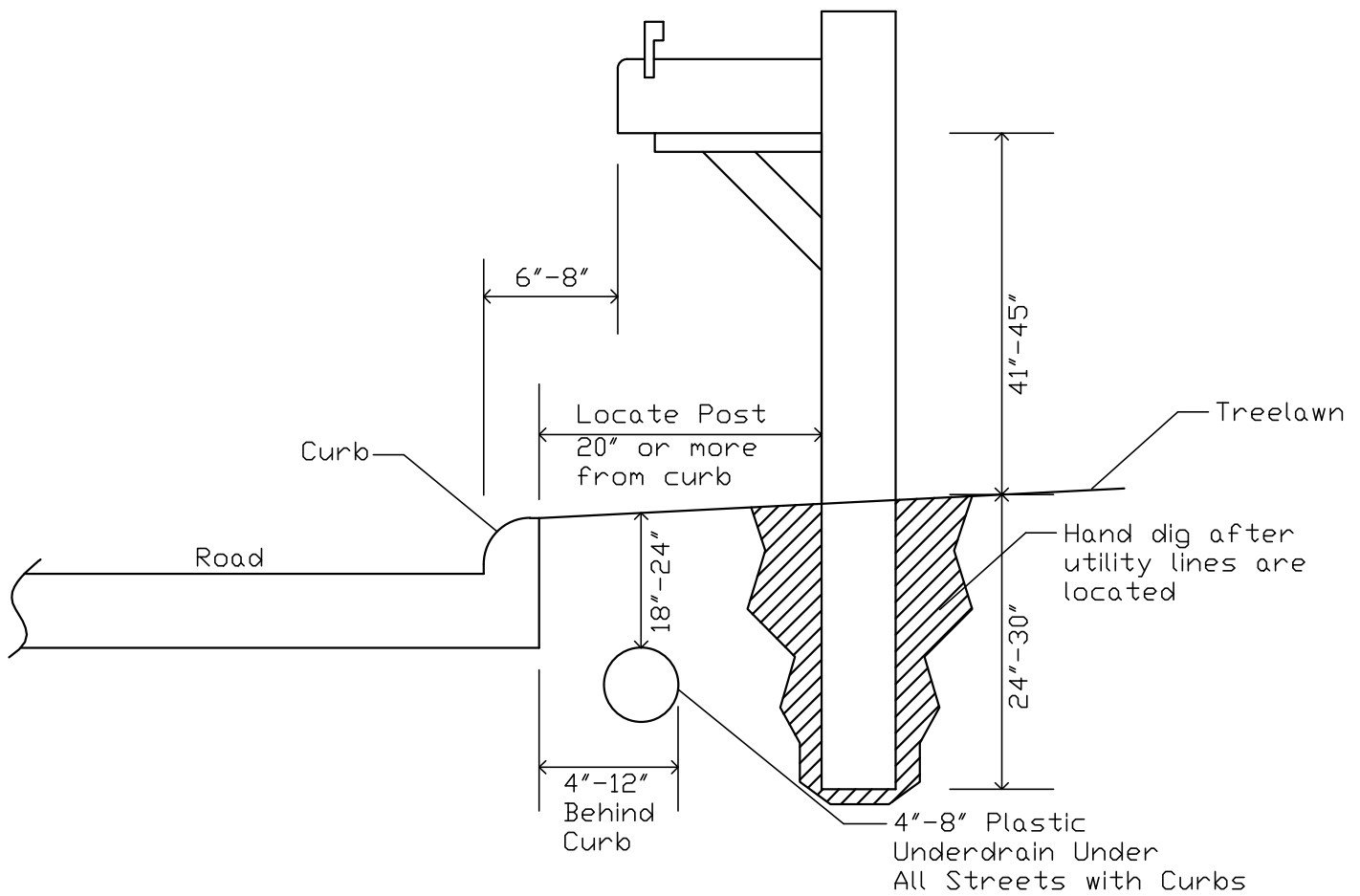
MODULAR BLOCK RETAINING WALL – FRONT VIEW

N.T.S.

MINIMUM RETAINING WALL SUBMITTAL REQUIREMENTS

PROVIDE A PLAN VIEW WITH LIMITS OF WALL, PROPERTY LINE  
 OR RIGHT-OF-WAY LINE, THE HEIGHT OF THE WALL (AT  
 VARIOUS LOCATIONS), OVERALL SITE GRADING AND DRAINAGE  
 CONNECTIONS

VILLAGE OF MOGADORE  
 STANDARD DRAWING WALL 1  
 REVISION: 11/17/16



\*Excavator must contact the Village and the Ohio Utility Protection Service (1-800-362-2764 or 811) prior to digging (gas lines, gas service lines, waterlines, buried cable, etc. may be in the area).

Village of Mogadore Mailbox Installation  
Not to Scale

VILLAGE OF MOGADORE  
STANDARD DRAWING ROAD 11  
REVISION: 11/17/17